

THE TOWNSHIP OF MANCHESTER

YORK COUNTY



PENNSYLVANIA

MANCHESTER TOWNSHIP PLANNING COMMISSION AGENDA

Wednesday – June 26, 2024 – 6:00 PM

CALL TO ORDER

APPROVAL OF MINUTES FROM MAY 29, 2024

NEW BUSINESS

- **RVW #2024-01 Eagle's View Phase 5 Final Subdivision Plan** – The applicant requests approval of a Final Subdivision Plan for 23 building lots in the Residential Low (RL) District. Tax Parcel #36-000-KI-0225.00-00000.

ADJOURNMENT

THE TOWNSHIP OF MANCHESTER

YORK COUNTY



PENNSYLVANIA

PLANNING COMMISSION MINUTES May 29, 2024

MEETING

The Manchester Township Planning Commission held its regularly scheduled meeting on Wednesday, May 29, 2024, at the municipal building located at 3200 Farmtrail Road, York, PA 17406. Chairperson Nicholas Hauck called the meeting to order at 6:00 PM.

ATTENDANCE *(A) = Absent

Nicholas Hauck, Chairperson
Kenneth Stoutzenberger, Vice-Chair
Richard Halpin, Member
Nick Dreisbach, Member
Daniel Spies, Member

B.J. Treglia, Township Engineer
Rachel Vega, Zoning/Planning Officer
Marita McVey, Zoning/Planning
Mark Henise, ELA Group
Larry Young, Solicitor (A)
Cory McCoy, CS Davidson Engineer (A)

APPROVAL OF MINUTES

Mr. Halpin made a motion, seconded by Mr. Spies, to approve the minutes of the January 31, 2024, Planning Commission meeting. The motion carried 5-0.

NEW BUSINESS

ZHB #2024-12 Scannel Properties #691, LLC - 85 Church Road-Special Exception

The applicant requests a reduction in the number of required parking spaces for a proposed 158,760 sf industrial building located in the Industrial (I) District, Tax Parcel #'s 36-000-LI-0001.K0-00000 and 36-000-LI-0061.A0-00000.

Stacey MacNeal of Barley Snyder and Adam Anderson of SDC were present to request a waiver to reduce parking spaces from 159 to 106 parking spaces.

Upon a motion by Mr. Stoutzenberger, seconded by Mr. Hauck, the Planning Commission recommended approval of the waiver request with the condition that with each new tenant change, parking spaces will be reevaluated. The Motion carried 5-0.

RVW #2023-09 Dunkin 3245 Susquehanna Trail – Preliminary/Final Land Development Plan

– The applicant requests a waiver from §22-701. The waiver will allow for a deviation in the standard for shoulder width and slow requirements due to existing hardships and constraints for a conditionally approved land development plan to construct a Dunkin Donuts with three additional retail spaces at 3245 Susquehanna Trail located in the Industrial (I) District, Tax Parcel #36-000-LH-0036.D0-00000.

Joe Stein of Warehaus, and Ricky Patel of GN Realty were present to discuss the waiver request. Mr. Hauck made a motion, seconded by Mr. Spies, to table the request until the developer can attempt negotiations with the neighboring parcel owner at 3251 Susquehanna Trail.

ADJOURNMENT

With no additional business on the agenda, Mr. Hauck adjourned the meeting at 7:10 PM, seconded by Mr. Spies.

Respectfully submitted,

Rachel Vega
Zoning/Planning Officer



May 17, 2024

June 20, 2024

Rachel Vega, Zoning Officer
Manchester Township
3200 Farmtrail Road
York, PA 17406

Re: Eagles View Park Phase 5 – **For 6/26/24 Planning Commission Meeting**
Final Subdivision Plan
Township Review No. 2024-01
Engineer's File No. 0841.3.05.36

Dear Rachel:

We have reviewed the Final Subdivision Plan, submitted by James R. Holley & Associates, Inc., dated May 1, 2024. We offer the following comments:

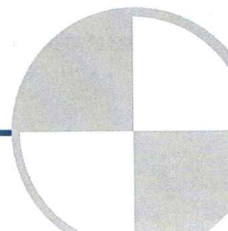
Waiver Requests:

1. §22-406.4.1 – Scale for drawings must be an even multiple of 10 at 1"=10' through 1"=100'. Plan proposes 1"=200'.

Subdivision and Land Development Ordinance:

1. Regarding general notes on sheet 2:
 - ~~Note #6 appears to conflict with note #33 and should be removed.~~
 - ~~Note 9: "The owners, heirs, assigns or successors in the title shall not construct, plant, or maintain..."~~
 - ~~Note 29: "Any non-conforming building or structure that is destroyed..."~~
 - ~~Note 32: Improvements to open space proposed with phase 5 shall be shown on the plans.~~

Note #33 conflicts with the carbonate geology notation on the Cover Sheet.
2. ~~The stormwater easement at the rear of lots 77-80 is identified as 25' wide on sheet 6; referred to as 10' elsewhere throughout the plans. The discrepancy should be corrected. (§22-406.4.15)~~
3. An easement or infiltration pit is hatched at the rear of lots 88-89 on sheet 6 and should be shown throughout the plan set. (§22-406.4.15)
4. It is unclear what is intended with Basin 'A' and should be clarified on the plans. (§22-406.4.16)
5. ~~Fire hydrant locations shall be identified on the plans. Locations, once confirmed with Township emergency services and York Water Co., shall be shown on the plans. (§22-406.4.37.A)~~
6. Existing cartway and rights-of-ways shall be dimensioned on the plans for all adjacent streets identified on the overall subdivision plan sheet 4. Township street number for Springhouse Lane shall be added to the plans.
7. ~~It is unclear from the grading plan how runoff from the rear of lots 84-89 will be addressed.~~
8. Arrows shall be added to the plans to identify the street address of corner lots.



9. ~~Sheet 4 appears to indicate that a sanitary sewer easement is proposed for phase 5 lots and open space. Legend shall be revised to remove discrepancy.~~
10. ~~Adjacent property owners shall be identified on the plans; specifically the properties along E. Locust Lane.~~
11. ~~A typical lot diagram should be added to the plans to identify minimum required utility service offset distances, driveway clear sight triangles, etc.~~
12. ~~Locations of intended street signage shall be identified on the plans; speed limit, stop sign, etc.~~
No traffic control signage will be necessary.
13. ~~The approved DEP planning module code number shall be identified on the plans.~~
14. ~~On lot seepage pits shall be located at least 15 feet from existing/proposed structures and 10' from any property lines. It appears that a waiver of this requirement will be needed. (§22-715.8.D)–Correct waiver note to say “10' from any property line.”~~
15. A Public Improvement Security Estimate has been submitted, a security estimate will be provided under a separate cover; and the security amount should be posted prior to unconditional plan approval and recording.
16. ~~The HOA documents should be submitted to the Township for review and approval.~~
17. The owner's notarized signature block shall be executed. Signature block for offer of dedication shall be executed (§22-406.1.2)
18. The stormwater management plan approval should be obtained from the Township Engineer prior to unconditional approval of this plan. ~~Standard non-limestone certification shall be added to the coversheet of the plans.~~
19. A Traffic Impact Study is required for residential developments in excess of 20 dwelling units (§22-410).
No record of the study can be located at this time. I'm sure one would have been reviewed during preliminary plan phase.
20. All filing fees, recreation fees, additional fees as may be required by the Subdivision and Land Development Ordinance shall be provided.

If you have any questions, please contact me at our York office number.

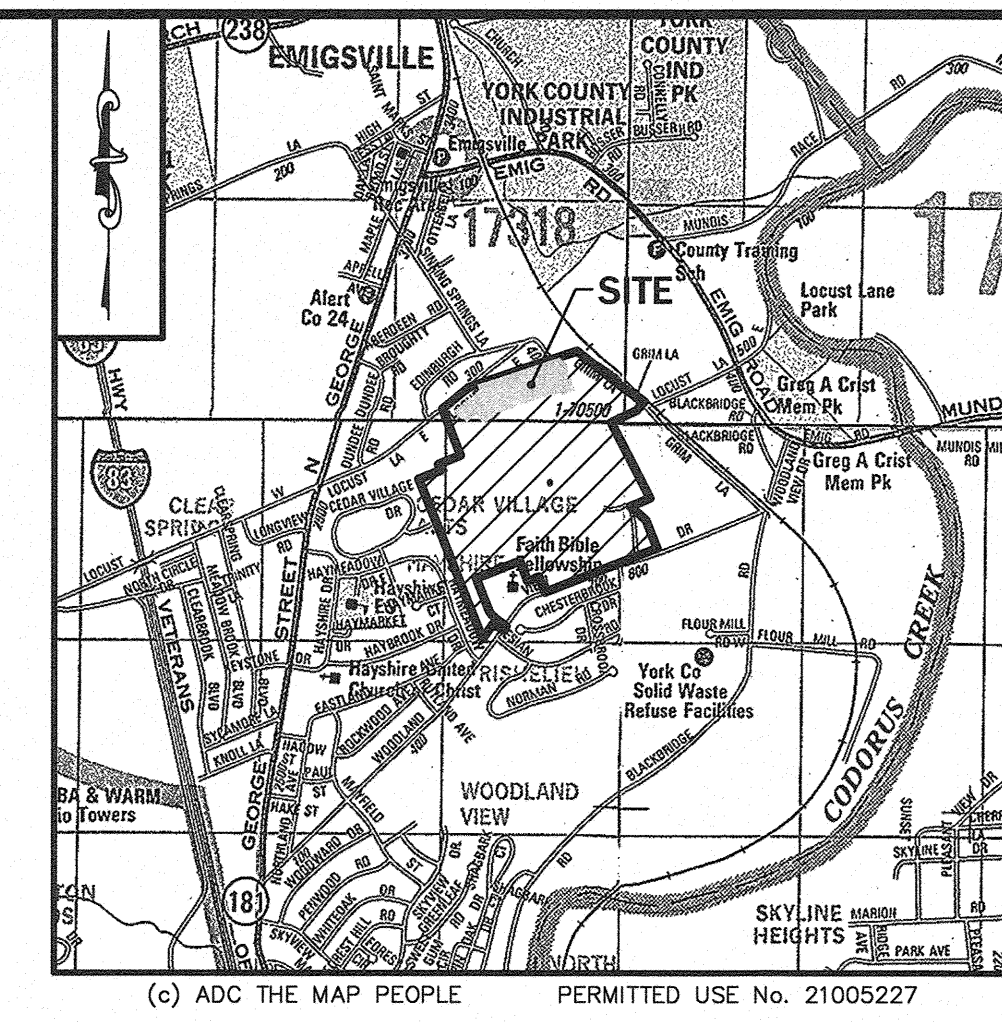
Sincerely,

Cory A. McCoy, P.E.

CAM/AJS/ems

Copy: Jason Brenneman, P.E., James R. Holley & Associates, Inc., 18 S. George St., York, PA 17401
Woodland View Associates, LLC, 474 Mount Sidney Road, Lancaster, PA 17602
B.J. Treglia, P.E., Manchester Township, b.treglia@mantwp.com
File

FINAL SUBDIVISION PLAN FOR EAGLES VIEW, PHASE 5 MANCHESTER TOWNSHIP YORK COUNTY, PENNSYLVANIA



SITE LOCATION MAP
SCALE: 1" = 2000'

BEFORE YOU
DIG-DRILL-BLAST
CONTACT:
PA ONECALL SYSTEM
8-1-1 OR 1-800-242-1776

Design Stage Notification
Date: 3/22/21
Serial No. 20210813119

PREPARED FOR:
WOODLAND VIEW ASSOCIATES, LLC
474 MOUNT SIDNEY ROAD
LANCASTER, PA 17602

PREPARED BY:

**James R. Holley
& Associates, Inc.**
ENGINEERS • PLANNERS • SURVEYORS

18 South George Street • York, PA 17401
(717) 846-4373 • Fax (717) 893-7124
Email: jrh@jrholley.com
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ENGINEER'S PROJECT No.: 240201
Date: May 1, 2024

LOT IDENTIFICATION TABLE		
LOT No.	ADDRESS	UPI NUMBER
LOT 67	395 LLOYDS LANE	
LOT 68	384 LLOYDS LANE	
LOT 69	374 LLOYDS LANE	
LOT 70	364 LLOYDS LANE	
LOT 71	356 LLOYDS LANE	
LOT 72	350 LLOYDS LANE	
LOT 73	342 LLOYDS LANE	
LOT 74	332 LLOYDS LANE	
LOT 75	320 LLOYDS LANE	
LOT 76	312 LLOYDS LANE	
LOT 77	301 LLOYDS LANE	
LOT 78	309 LLOYDS LANE	
LOT 79	317 LLOYDS LANE	
LOT 80	325 LLOYDS LANE	
LOT 81	333 LLOYDS LANE	
LOT 82	341 LLOYDS LANE	
LOT 83	349 LLOYDS LANE	
LOT 84	357 LLOYDS LANE	
LOT 85	365 LLOYDS LANE	
LOT 86	373 LLOYDS LANE	
LOT 87	379 LLOYDS LANE	
LOT 88	385 LLOYDS LANE	
LOT 89	391 LLOYDS LANE	
LOT 172A	OPEN SPACE	

ACT 287 LISTING MANCHESTER TOWNSHIP	
FACILITY OWNER	FACILITY ADDRESS
AT&T	2315 SALEM RD A 10 CONYERS, GA 30013 1-800-242-1776
COLUMBIA GAS OF PA	501 TECHNOLOGY DR SOUTHPOINTE INDUSTRIAL PARK CANONSBURG, PA 15317 1-800-242-1776
COLUMBIA GAS TRANSMISSION	1895 GRANITE STATION ROAD GETTYSBURG, PA 17325 1-800-242-1776
CTSI LLC	100 CTE DR DALLAS, PA 18612 1-800-242-1776
FIRSTENERGY CORP	C/O OLS 301 E LOUTHER ST CARLISLE, PA 17013 1-800-242-1776
MANCHESTER TWP/MANCHESTER TWP MUNI AUTH	C/O O S DAVIDSON INC 38 N DUKE ST YORK, PA 17401 1-800-242-1776
MCI	2400 N GLENNVILLE RICHARDSON, TX 75082 1-800-242-1776
SUNOCO PIPELINE LP	525 FRITZTOWN RD SINKING SPRING, PA 19608 1-800-242-1776
TEXAS EASTERN TRANSMISSION CORPORATION	560 POTTSTOWN PIKE PO BOX 420 UWCHLAND, PA 19480-0420 1-800-242-1776
VERIZON NORTH	150 W 10TH ST ERIE, PA 16532 1-800-242-1776
VIKING COMMUNICATIONS INC	600 RT 38 W SUITE C CHERRY HILL, NJ 08002 1-800-242-1776
YORK CABLE TELEVISION INC DBA SUSCOM	1050 E KING ST YORK, PA 17403 1-800-242-1776

- LIST OF DRAWINGS**
- | SHEET No. | TITLE |
|-----------|------------------------------------|
| 1 | COVER SHEET |
| 2 | SITE DATA & NOTES |
| 3 | EXISTING CONDITIONS PLAN |
| 4 | KEY PLAN |
| 5 | SUBDIVISION PLAN |
| 6 | UTILITY KEY MAP |
| 7 | GRADING & UTILITY PLAN |
| 8 | LLOYDS LANE PLAN & PROFILE |
| 9 | STORMWATER NOTES & DETAILS |
| 10 | MISCELLANEOUS CONSTRUCTION DETAILS |
- ALL SHEETS TO BE RECORDED

WAIVER REQUESTED OF THE MANCHESTER TOWNSHIP
SUBDIVISION AND LAND DEVELOPMENT ORDINANCE

§22-406.4.1 SCALE FOR MAIN DRAWING MUST BE AN EVEN
MULTIPLE OF 10 AT 1"= 10' THRU 1"= 100'

§22-715.8.D SEEPAGE PITS SHALL BE LOCATED AT LEAST 15'
FROM ANY PROPERTY LINE & AT LEAST 15' FROM
ANY PROPOSED OR EXISTING STRUCTURE

GRANTED _____

REVIEWED BY THE
MANCHESTER TOWNSHIP PLANNING COMMISSION

DATE: _____

CHAIRMAN: _____

APPROVED BY THE
MANCHESTER TOWNSHIP BOARD OF SUPERVISORS

DATE: _____

CHAIRMAN: _____

REVIEWED BY THE
MANCHESTER TOWNSHIP ENGINEER

DATE: _____

REVIEWED BY THE
YORK COUNTY PLANNING COMMISSION

DATE: _____

OWNER:
WOODLAND VIEW ASSOCIATES LLC
474 MOUNT SIDNEY ROAD
LANCASTER, PA 17602

STREETS AS SHOWN HEREON ARE OFFERED
FOR DEDICATION AND THE SUBDIVISION IS
HEREBY APPROVED BY THE OWNER:

NAME: _____
TITLE: _____

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF _____

ON THIS, THE _____ DAY OF _____, 20____,
BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED

WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS
THAT THEY ARE THE OWNER OF THE PROPERTY SHOWN ON THIS
PLAN, THAT THE PLAN THEREOF WAS MADE AT THEIR DIRECTION,
THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN,
THAT THEY DESIRE THE SAME TO BE RECORDED, AND THAT ALL
STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC
PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION")
ARE HEREBY DEDICATED TO THE PUBLIC USE.

MY COMMISSION EXPIRES, _____

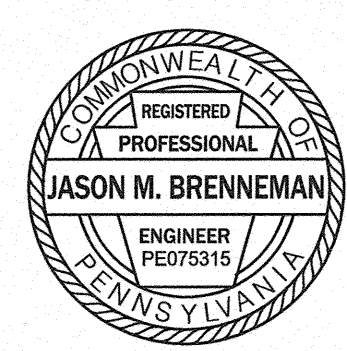
I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE
SURVEY AND PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND
CORRECT TO THE ACCURACY REQUIRED BY THE MANCHESTER
TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE (ERROR
OF CLOSURE NO GREATER THAN ONE-FOOT IN TEN THOUSAND FEET).

June 11, 2024



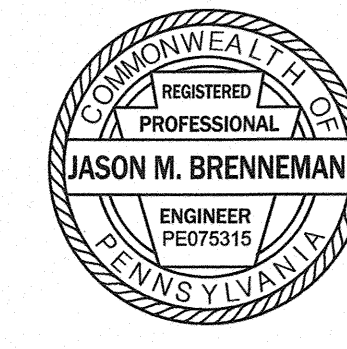
I, JASON M. BRENNEMAN, CERTIFY THAT THE PROPOSED STORMWATER
MANAGEMENT FACILITIES ARE UNDERLAIN BY CARBONATE GEOLOGY.

June 11, 2024



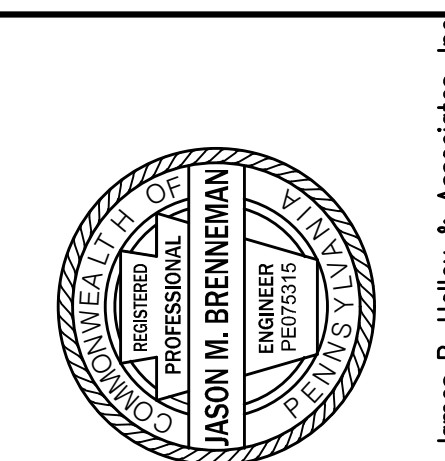
I HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THE
SUBDIVISION PLAN SHOWN AND DESCRIBED HEREON IS TRUE AND
CORRECT TO THE ACCURACY REQUIRED BY THE MANCHESTER TOWNSHIP
SUBDIVISION AND LAND DEVELOPMENT ORDINANCE.

June 11, 2024

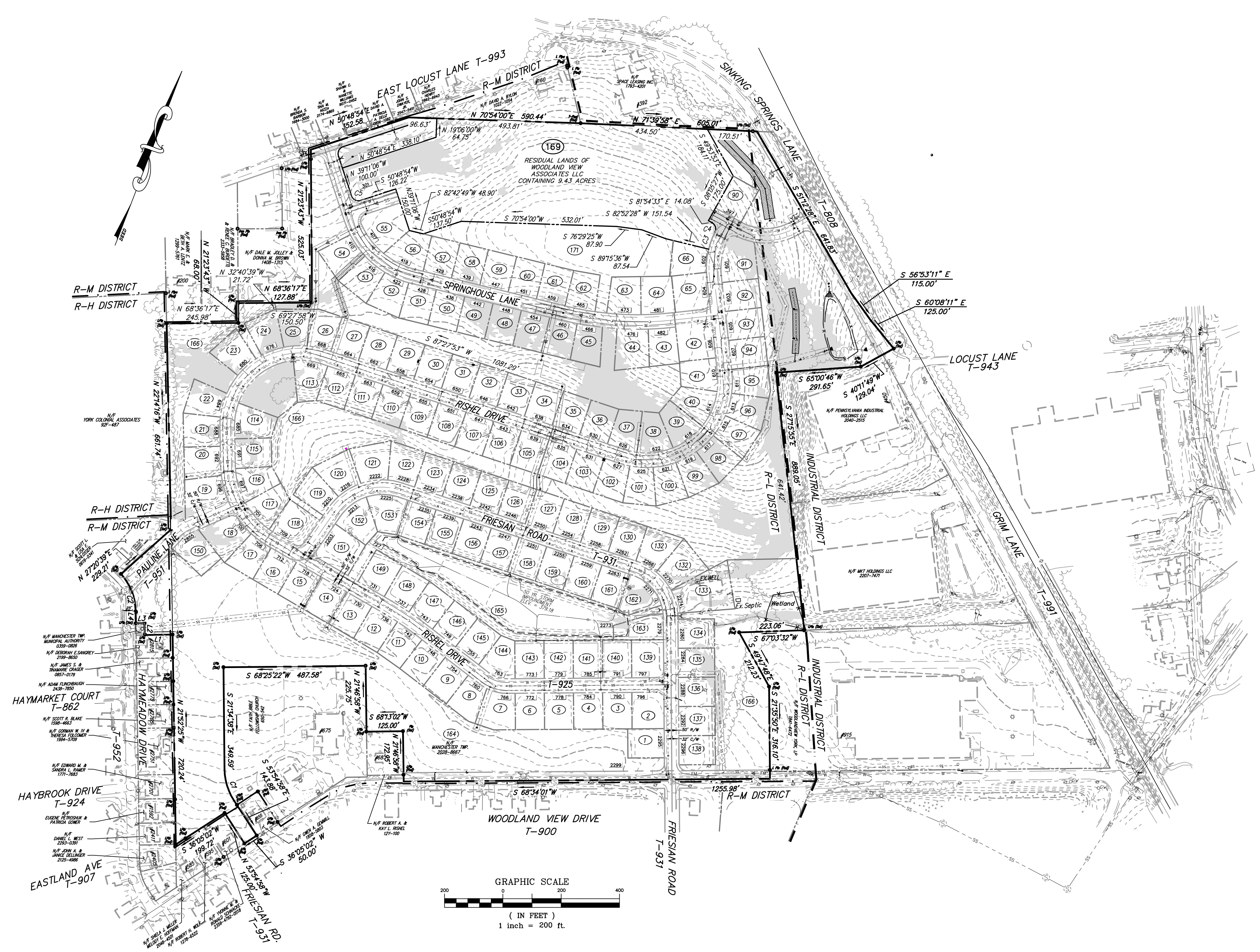


RECORDER OF DEEDS
RECORDED IN THE RECORDER OF DEEDS OFFICE,
IN AND FOR YORK COUNTY, PENNSYLVANIA, IN
PLAN BOOK _____, PAGE No. _____, ON
THIS _____ DAY OF _____, 20____.

REVISIONS	NO.	DATE	DESCRIPTION	BY
1	6/11/24	REVISED PER STAFF REVIEW		JMB

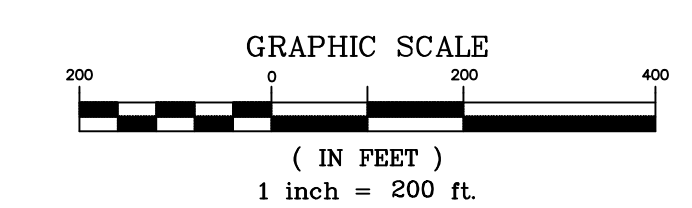


FINAL SUBDIVISION PLAN FOR
EAGLES VIEW PHASE 5
 WOODLAND VIEW ASSOCIATES, LLC
 EXISTING CONDITIONS PLAN
 MANCHESTER TOWNSHIP



LEGEND

- EX. PROPERTY LINE
- EX. RIGHT-OF-WAY
- EX. EASEMENT
- EX. LOT LINE
- ZONING BOUNDARY
- EX. STRUCTURE (HOUSE, GARAGE, ETC.)
- EX. TREE LINE
- BUILDING SETBACK LINE
- EX. CONTOUR
- EX. STORM SEWER
- EX. UNDER DRAIN
- EX. SANITARY SEWER
- EX. CATCH BASIN
- EX. STORM SEWER MANHOLE
- EX. SANITARY SEWER MANHOLE
- EX. ELECTRIC LINE
- EX. UTILITY POLE
- EX. WATER MAIN
- EX. FIRE HYDRANT
- EX. WATER VALVE
- EX. SIGN
- EX. STREET ADDRESS
- EX. LOT NUMBER
- SLOPES GREATER THAN 15%



CURVE TABLE

CURVE	RADIUS	ARC LENGTH	BEARING	DISTANCE
C1	200.35	113.08	S 37°44'48" E	111.59
C2	200.00	142.56	N 42°15'53" W	139.37
C3	275.00	62.08	S 00°39'32" E	61.94
C4	25.00	38.27	S 38°03'02" E	34.64
C5	25.00	39.27	N 84°11'06" W	35.64

LINE TABLE

LINE	LENGTH	BEARING
L1	95.00	N 68°07'35" E
L2	41.00	N 21°52'15" W
L3	30.00	S 68°07'35" W
L4	39.00	S 21°52'36" E

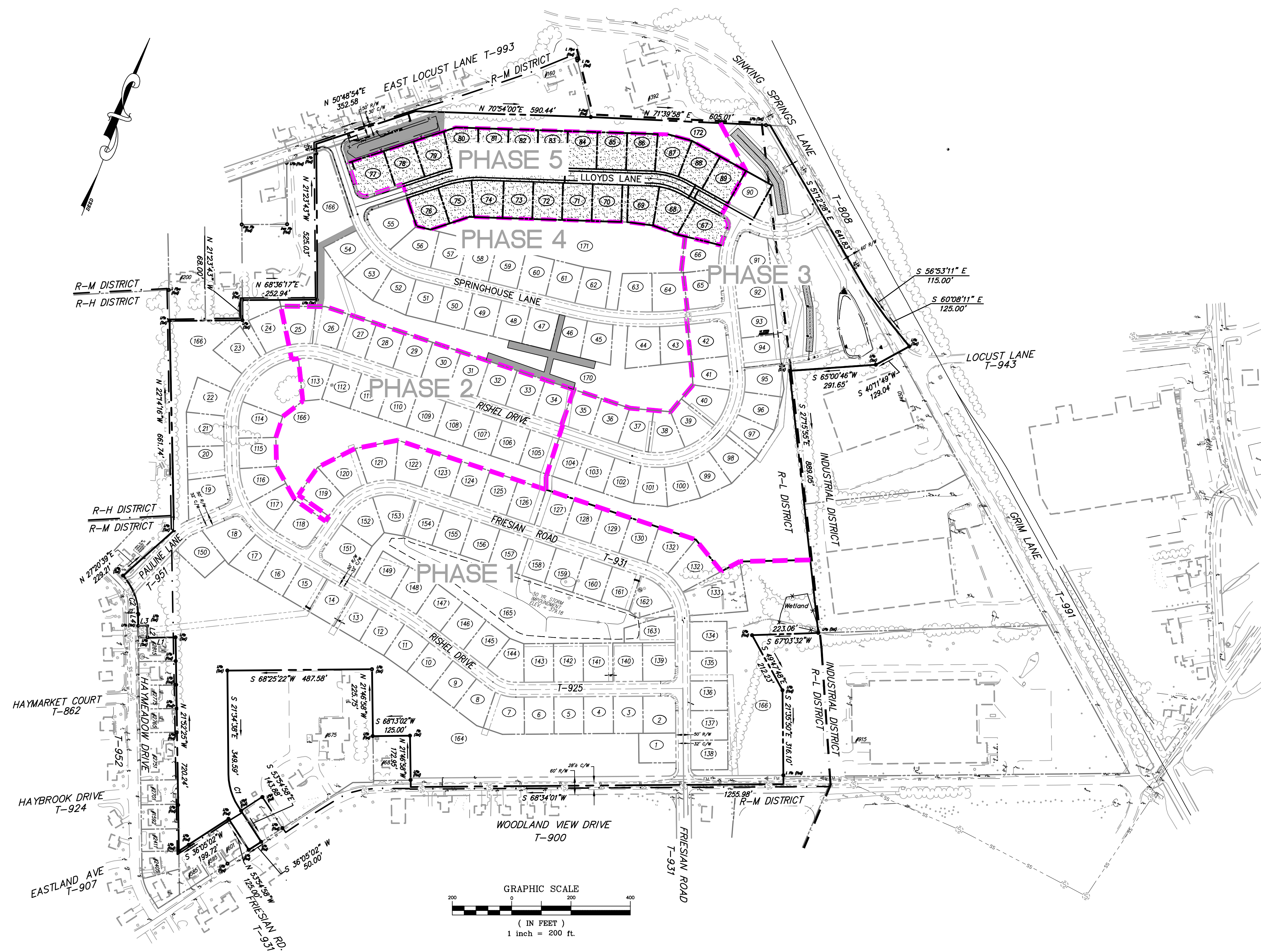
REVISIONS

NO.	DATE	DESCRIPTION	BY
1	6/11/24	REVISED PER STAFF REVIEW	JMB

DATE: 5/01/2024
 SCALE: AS NOTED
 DRAWN BY: PAF
 DESIGNED/CK'D BY: JMB
 PROJECT NO: 240201
 SHEET NO. 3 OF 10

NO.	DATE	DESCRIPTION	BY
1	6/11/24	REVISED PER STAFF REVIEW	JMB

DATE: 5/01/2024
SCALE: AS NOTED
DRAWN BY: PAF
DESIGNED/CK'D BY: JMB
PROJECT NO. 240201
SHEET NO.



LEGEND

	EX. PROPERTY LINE
	EX. RIGHT-OF-WAY
	EX. EASEMENT
	EX. LOT LINE
	ZONING BOUNDARY
	EX. STRUCTURE (HOUSE, GARAGE, ETC.)
	EX. TREE LINE
	BUILDING SETBACK LINE
	EX. CONTOUR
	EX. STORM SEWER
	EX. UNDER DRAIN
	EX. SANITARY SEWER
	EX. CATCH BASIN
	EX. STORM SEWER MANHOLE
	EX. SANITARY SEWER MANHOLE
	EX. ELECTRIC LINE
	EX. UTILITY POLE
	EX. WATER MAIN
	EX. FIRE HYDRANT
	EX. WATER VALVE
	EX. SIGN
	EX. STREET ADDRESS
	EX. LOT NUMBER
	STORMWATER EASEMENT
	SANITARY SEWER EASEMENT

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	BEARING	DISTANCE
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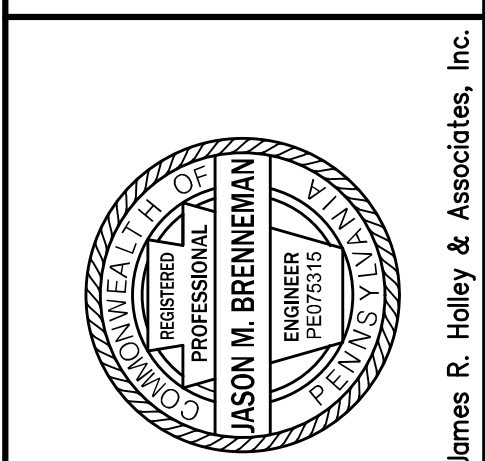
LINE TABLE

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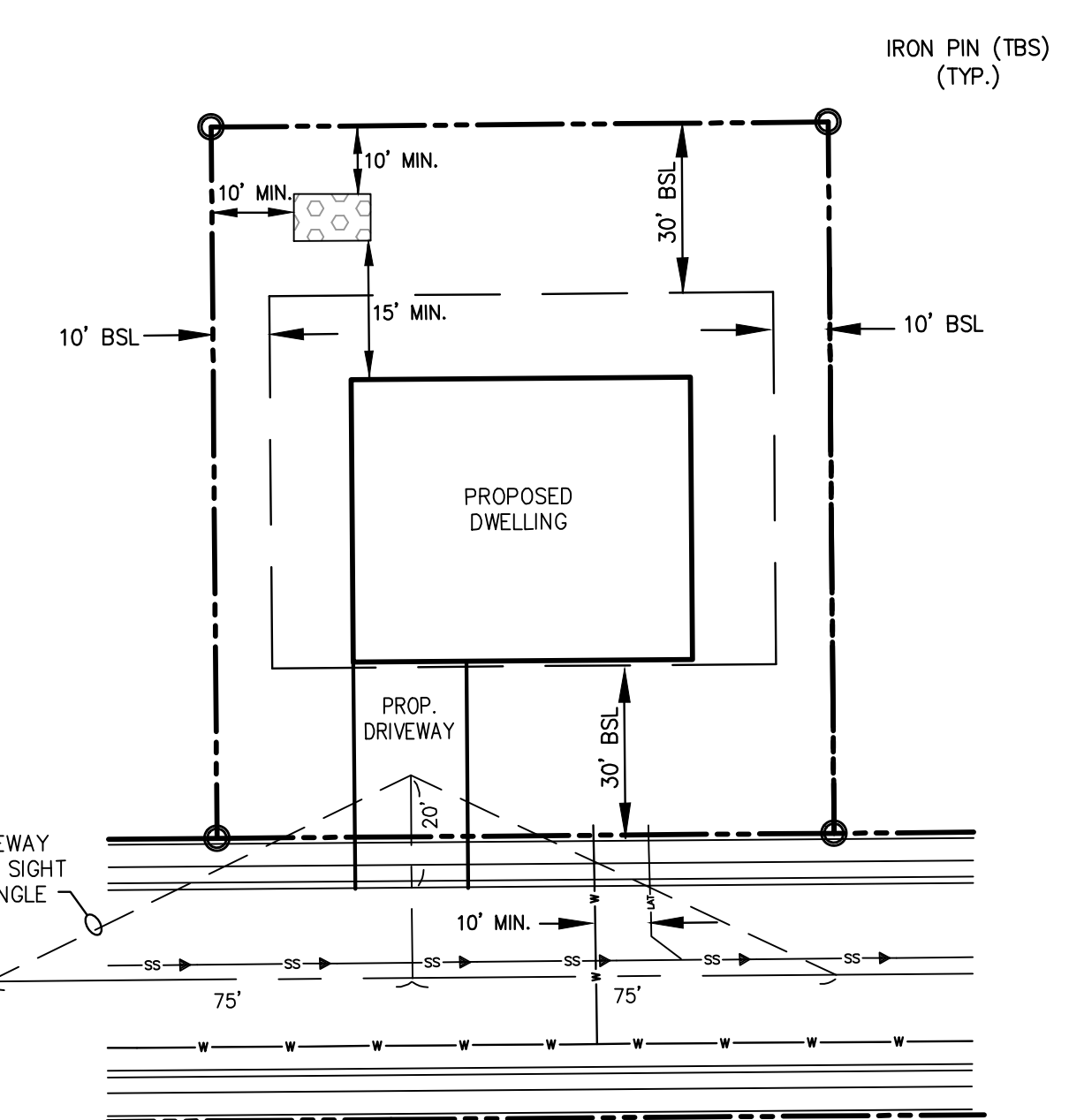
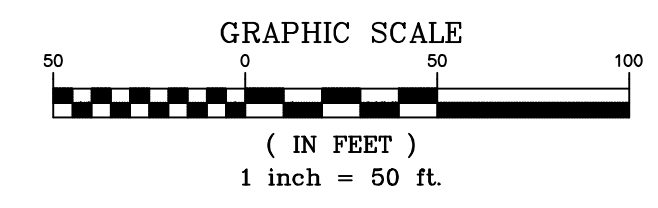
040614 (Eagles View-Phase 5) 2/2024 PHASE 5 2/24/2024

BEFORE YOU DIG-DRILL-BLAST CONTACT: PA ONECALL SYSTEM 8-1-1 OR 1-800-242-1776
 Design Stage Notification Date: 3/22/21 Serial No. 20210813119

JRH James R. Holley & Associates, Inc.
 ENGINEERS • PLANNERS • SURVEYORS
 18 South George Street • York, PA 17401
 (717) 846-4373 • Fax (717) 893-7124 • Email: jrh@jrholl.com



FINAL SUBDIVISION PLAN FOR **EAGLES VIEW PHASE 5** SUBDIVISION PLAN
 WOODLAND VIEW ASSOCIATES, LLC
 MANCHESTER TOWNSHIP YORK CO., PA © 2024 James R. Holley & Associates, Inc.



EXISTING SIGHT DISTANCE TABLE

SPRINGHOUSE LANE WITH EAST LOCUST STREET
 SPEED LIMIT = 25 MPH
 REQUIRED RIGHT @ +5% = 140'
 EXISTING = +300'
 REQUIRED LEFT @ -5% = 155'
 EXISTING = +300'

LLOYDS LANE WITH SPRINGHOUSE LANE

SPEED LIMIT = 25 MPH
 REQUIRED RIGHT @ +7% = 138'
 PROPOSED = 230' (TO STOP SIGN)
 REQUIRED LEFT @ -4% = 153'
 PROPOSED = 250'

LEGEND

	PROP. PROPERTY LINE		PROP. HOUSE SEEPAGE PIT
	PROP. RIGHT-OF-WAY		PROP. SANITARY SEWER
	PROP. EASEMENT		PROP. SANITARY LATERAL
	ZONING BOUNDARY		PROP. WATER SERVICE
	PROP. CURB		IRON PIN (TO BE SET)
	PROP. BUILDING SETBACK LINE		PROP. STORM SEWER EASEMENT
	PROP. TRAFFIC SIGN		PROP. SANITARY SEWER EASEMENT
	DRIVEWAY RESTRICTION AREA		SLOPES GREATER THAN 15%
	IRON PIN (TO BE SET)		PROP. STREET ADDRESS
	PROP. STORM SEWER EASEMENT		IDENTIFIES STREET OF ADDRESS AT CORNER LOTS
	PROP. SANITARY SEWER EASEMENT		
	SLOPES GREATER THAN 15%		
	PROP. STREET ADDRESS		
	IDENTIFIES STREET OF ADDRESS AT CORNER LOTS		

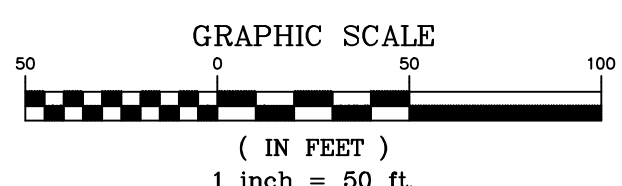
CURVE TABLE

CURVE	RADIUS	ARC LENGTH	BEARING	DISTANCE
C54	280.00'	12.57'	S 72° 11' 09" W	12.57'
C55	375.00'	39.00'	S 67° 55' 14" W	38.98'
C56	375.00'	92.45'	S 57° 52' 41" W	92.22'
C57	425.00'	17.05'	S 69° 45' 02" W	17.05'
C58	425.00'	90.00'	S 62° 32' 04" W	89.83'
C59	425.00'	41.93'	S 53° 38' 29" W	41.91'
C60	25.00'	39.27'	S 05° 48' 54" W	35.36'
C61	25.00'	39.27'	S 84° 11' 06" E	35.36'
C94	230.00'	30.00'	S 74° 38' 12" W	29.98'
C95	230.00'	79.15'	S 88° 13' 56" W	78.76'
C96	280.00'	81.10'	S 81° 46' 09" W	80.82'
C97	280.00'	39.21'	N 85° 55' 16" W	39.18'
C98	25.00'	38.27'	N 38° 03' 02" W	34.64'
C99	275.00'	62.08'	S 00° 39' 32" E	61.94'
C120	400.00'	140.22'	S 60° 51' 27" W	139.50'
C121	255.00'	121.02'	S 84° 29' 44" W	119.88'

NO.	DATE	DESCRIPTION	BY
1	6/11/24	REVISED PER STAFF REVIEW	JMB

DATE: 5/01/2024
 SCALE: AS NOTED
 DRAWN BY: PAF
 DESIGNED/CK'D BY: JMB
 PROJECT NO. 240201
 SHEET NO. 5 OF 10

240201.dwg (C:\Users\jrh\OneDrive\Documents\Projects\240201.dwg) 5/24/2024 10:05



WATER SERVICES FOR LOTS 70, 71, 84, AND 85 SHALL BE INSTALLED AS CLOSE TO THE HIGH POINT AS POSSIBLE.

POSSIBLE LANDSCAPE WALL REQUIRED DEPENDING ON DEPTH OF FLOOR PLAN CHOSEN

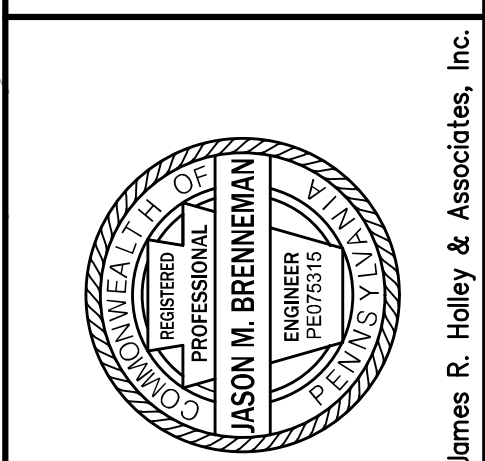
CAPPED OFF STORM SEWER, AND WATER MAIN 20' FROM PHASE 4 LIMIT. EXTEND SEWER TO NEXT UPSTREAM MANHOLE

LEGEND			
	PROP. PROPERTY LINE		PROP. STORM SEWER (MANHOLE/CATCH BASIN)
	PROP. RIGHT-OF-WAY		PROP. ENDWALL/HEADWALL
	PROP. EASEMENT		PROP. SANITARY SEWER (MANHOLE)
	ZONING BOUNDARY		PROP. SANITARY LATERAL
	PROP. CURB		PROP. WATER SERVICE
	PROP. BUILDING SETBACK LINE		PROP. FIRE HYDRANT
	PROP. TRAFFIC SIGN		PROP. WATER VALVES
	DRIVEWAY RESTRICTION AREA		PROP. GAS SERVICE
	IRON PIN (TO BE SET)		PROP. GAS VALVE
	PROP. STORM SEWER EASEMENT		
	PROP. SANITARY SEWER EASEMENT		
	SLOPES GREATER THAN 15%		
	PROP. STREET ADDRESS		
	PROP. HOUSE SEEPAGE PIT		

INLET NO.	T.E	INVERT	INVERT	PIPE	PIPE	PIPE	PIPE	INLETS TO	INLET TOP
	(FT.)	(FT.)	(FT.)	LENGTH (FT.)	SLOPE (%)	SIZE (IN.)	TYPE		
1	454.73		450.73	236	2.16	15	SLPP	2	C2x4
2	448.64	445.64	445.54	30	1.00	15	SLPP	3	C2x4
3	448.64	445.24	445.14	216	4.82	15	SLPP	5	C2x4
9	459.96		457.21	150	3.25	15	SLPP	11	C2x4
10	455.41		452.66	30	1.00	15	SLPP	11	C2x4
11	455.41	452.36 (10) 452.34 (9)	452.24	216	4.96	15	SLPP	13	C2x4

BEFORE YOU DIG-DRILL-BLAST CONTACT: PA ONECALL SYSTEM 8-1-1 OR 1-800-242-1776
Design Stage Notification Date: 3/22/21 Serial No. 20210813119

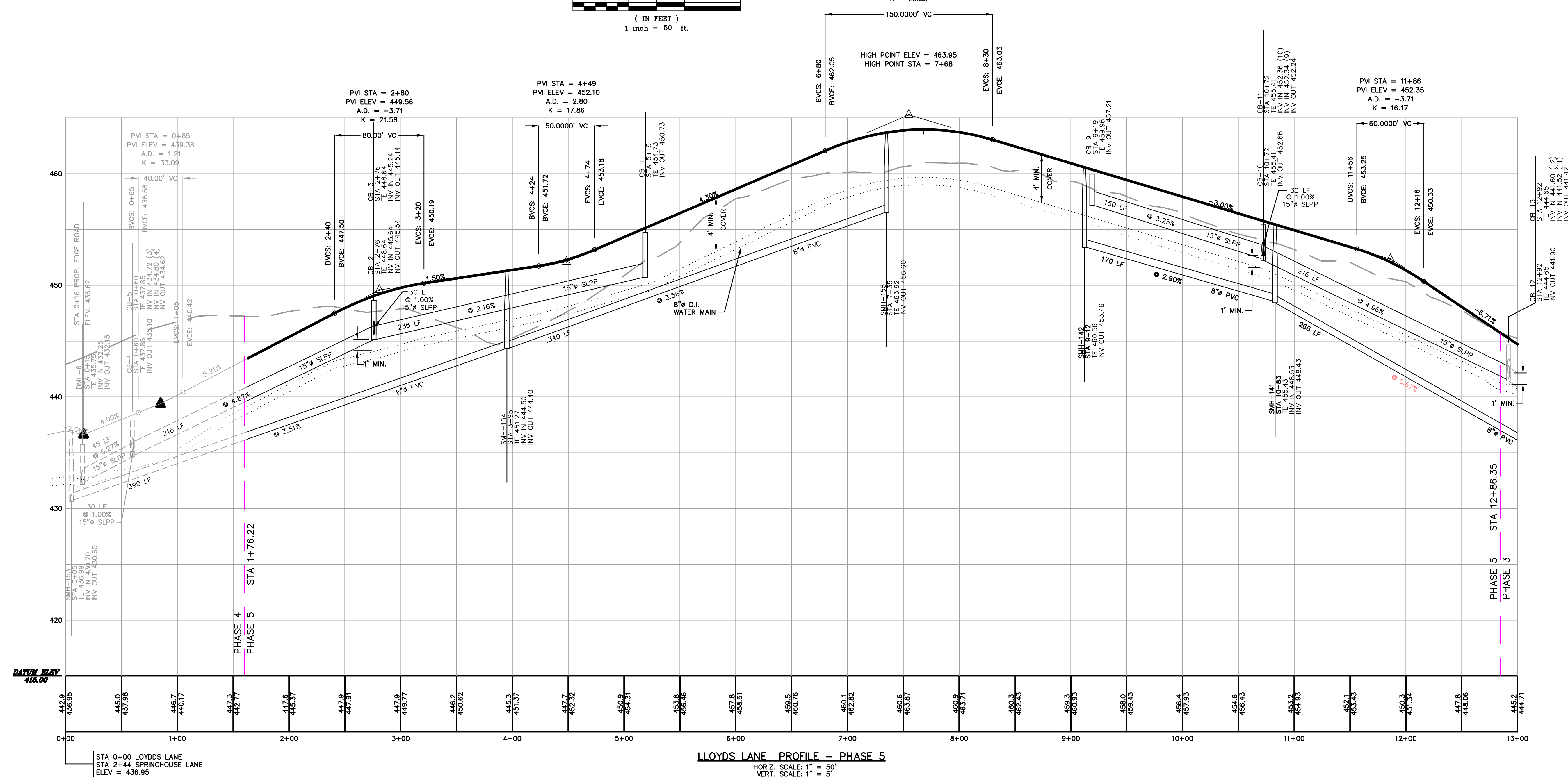
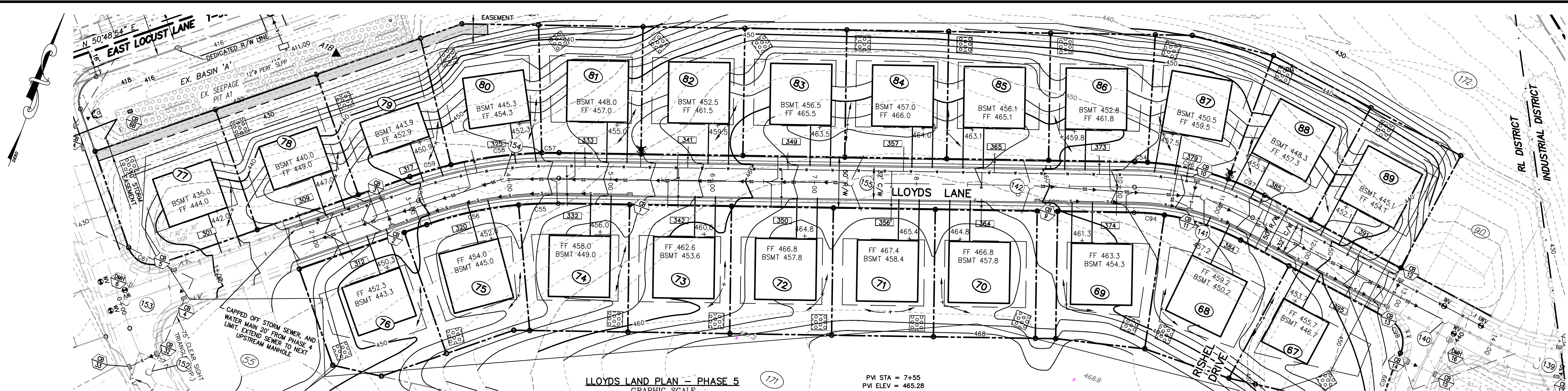
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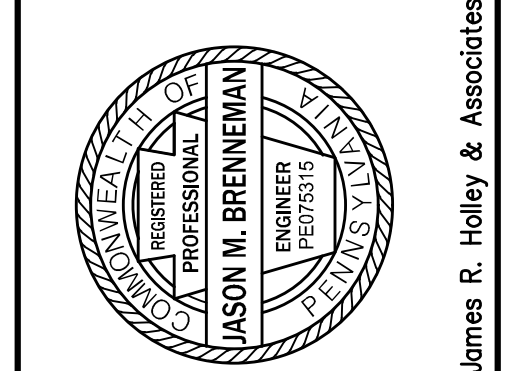
FINAL SUBDIVISION PLAN FOR **EAGLES VIEW PHASE 5**
WOODLAND VIEW ASSOCIATES, LLC
GRADING & UTILITY PLAN
MANCHESTER TOWNSHIP
YORK CO., PA © 2024 James R. Holley & Associates, Inc.

NO.	DATE	DESCRIPTION	BY	JMB
1	6/11/24	REVISED PER STAFF REVIEW		

DATE: 5/01/2024
SCALE: AS NOTED
DRAWN BY: PAF
DESIGNED/CK'D BY: JMB
PROJECT NO. 240201
SHEET NO. 7 OF 10



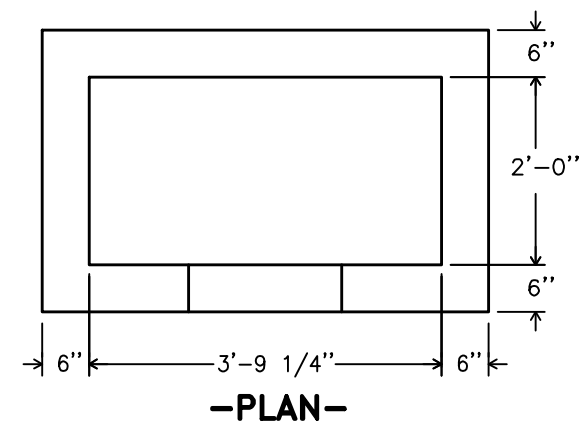
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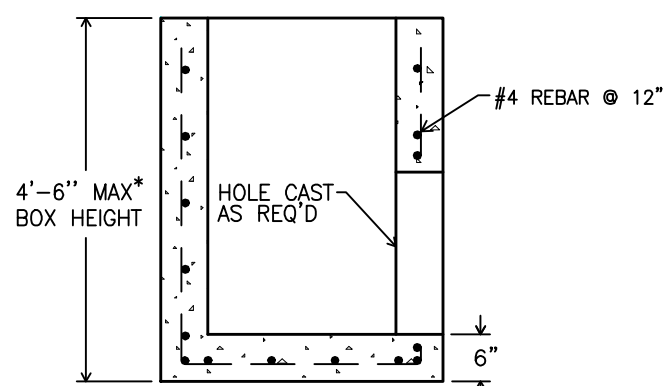
FINAL SUBDIVISION PLAN
FOR
EAGLES VIEW PHASE 5
WOODLAND VIEW ASSOCIATES, LLC
LLOYDS LANE PLAN & PROFILE
MANCHESTER TOWNSHIP
YORK CO., PA.
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NO.	DATE	DESCRIPTION	BY
1	6/17/24	REVISED PER STAFF REVIEW	JMB

DATE: 05/01/2024
SCALE: AS NOTED
DRAWN BY: PAF
DESIGNED/CK'D BY: JWB
PROJECT NO. 240201
SHEET NO. 8 OF 10

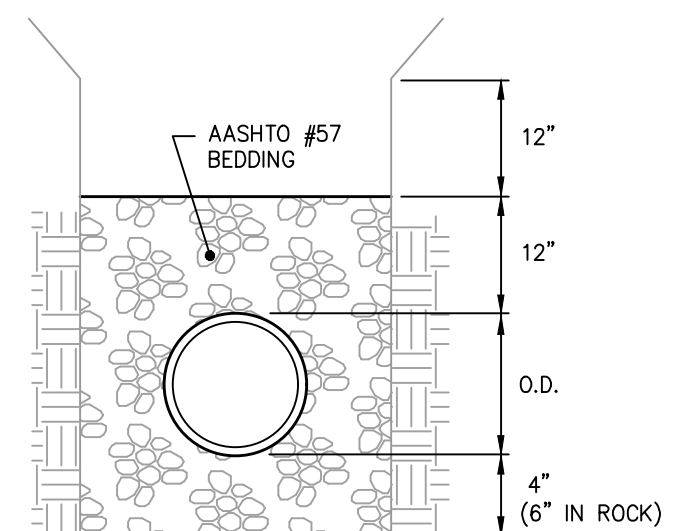


-PLAN-

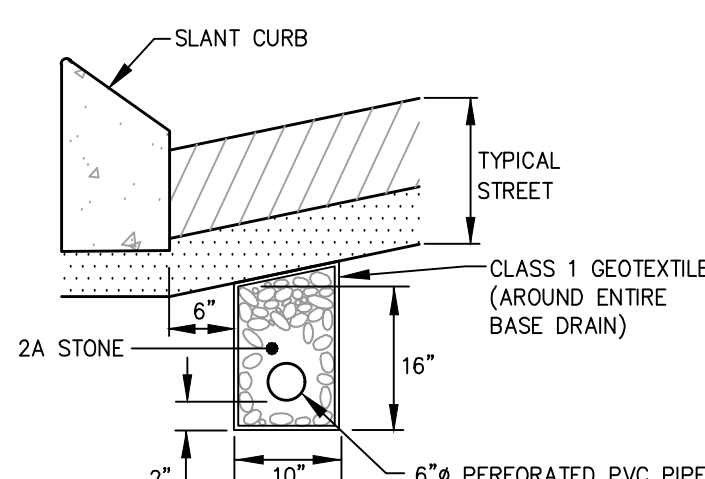


-SECTION-

PRECAST INLET BOX 24" X 45"
NOT TO SCALE

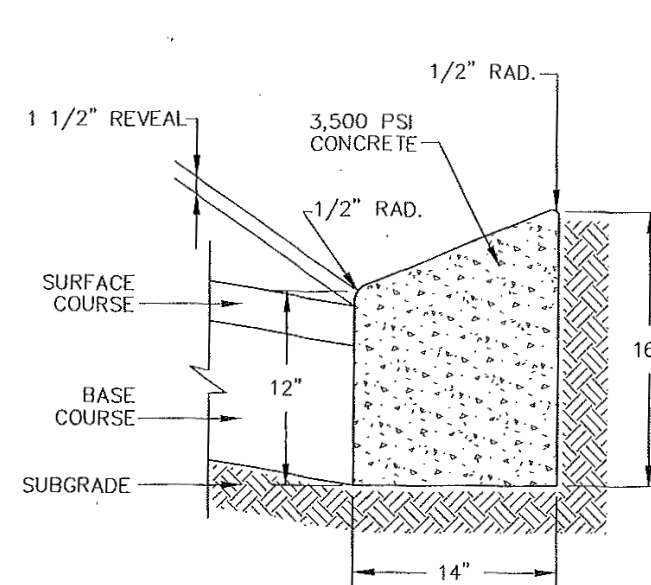


PIPE BEDDING DETAIL
NOT TO SCALE



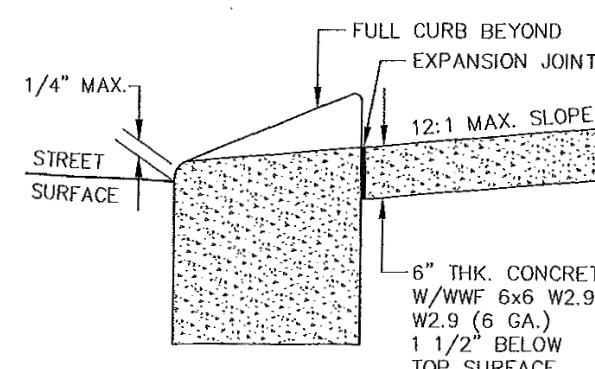
BASE DRAIN DETAIL
NOT TO SCALE

NOTE: PROVIDE BASE DRAIN 50 LF. ON EITHER SIDE OF VERTICAL SAG CURVES AND WHERE DESIGNATED BY THE TOWNSHIP ENGINEER.



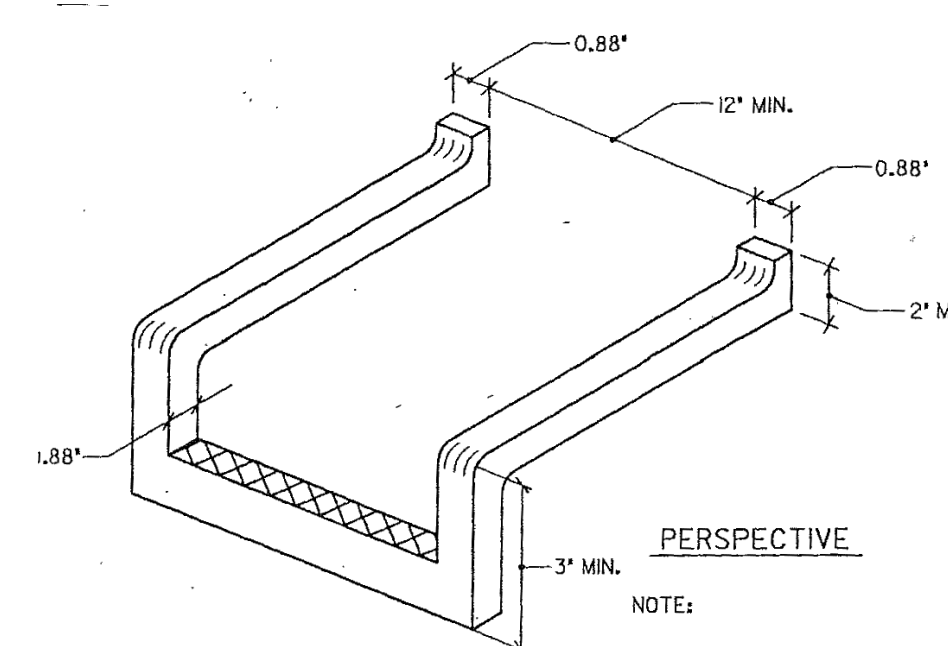
TYPICAL CROSS SECTION

NOTE: SLANT CURB MAY BE CONSTRUCTED ONLY WITH PRIOR WRITTEN APPROVAL FROM THE MUNICIPALITY



CROSS SECTION AT HANDICAP RAMPS

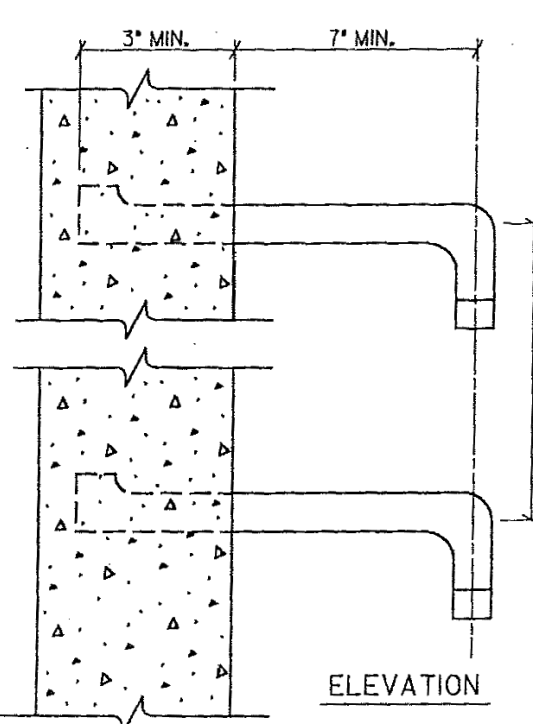
SLANT CONCRETE CURB DETAILS
NOT TO SCALE



PERSPECTIVE

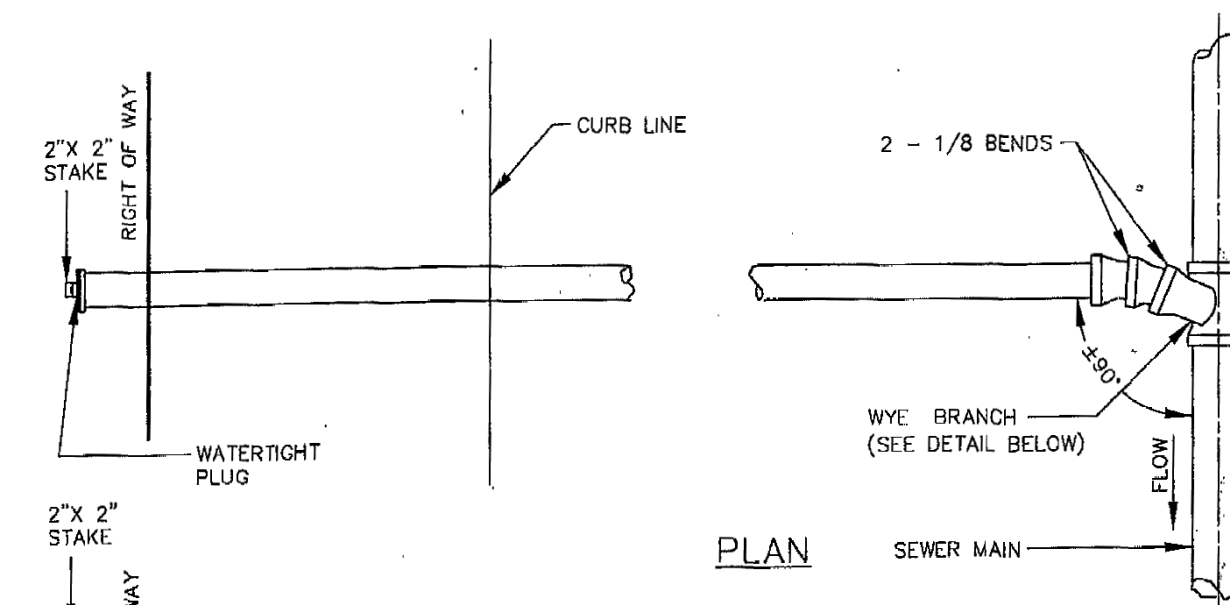
NOTE:

- 1) TOP STEP NOT TO BE GREATER THAN 2'-0" FROM TOP OF MANHOLE.
- 2) LANDING TO BOTTOM STEP NOT TO BE GREATER THAN 2'-0".
- 3) STEPS SHALL BE ONE OF THE FOLLOWING MATERIALS:
 - a) ALUMINUM ASTM B247
 - b) ALLOY 6061-76
 - c) STEEL REINFORCED FIBERGLASS
 - d) STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC.
- 4) DO NOT LOCATE STEPS OVER CHANNELS

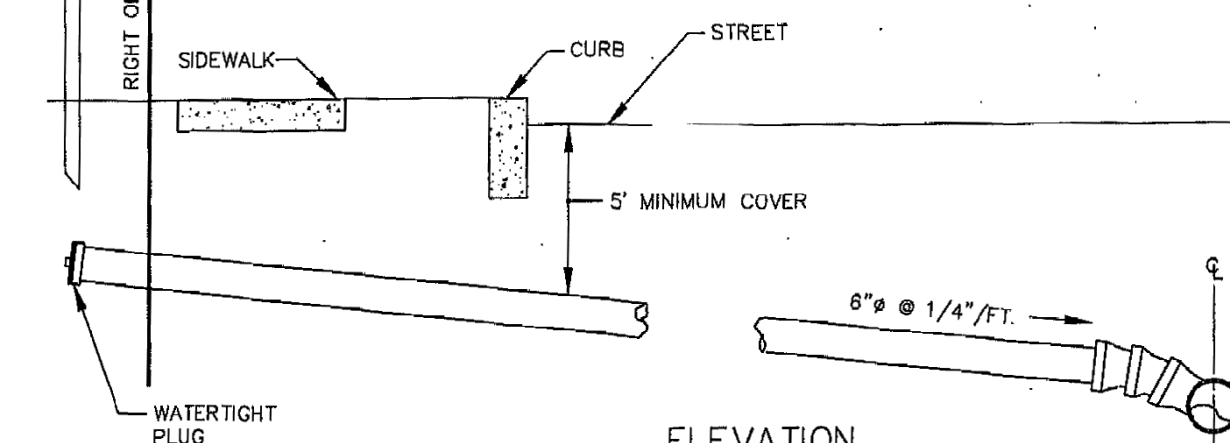


ELEVATION

MANHOLE STEP DETAIL
NOT TO SCALE

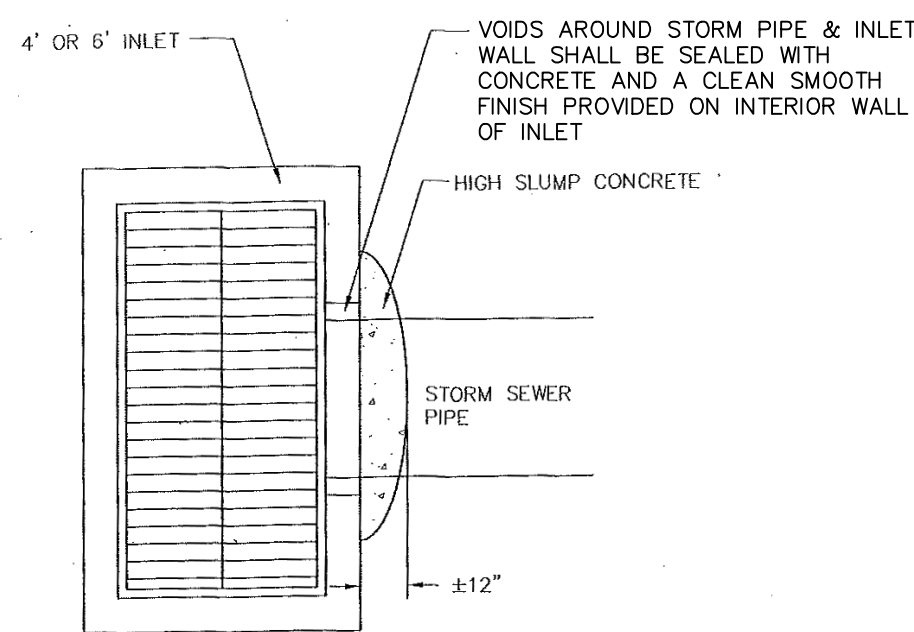


PLAN

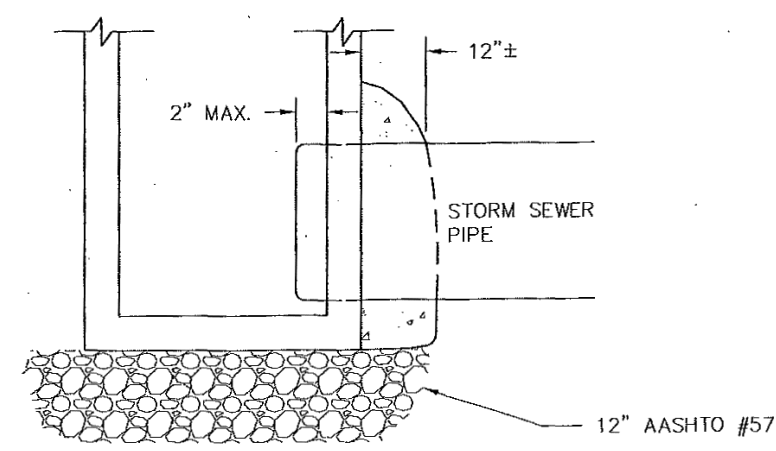


ELEVATION

LATERAL DETAIL WITH CLEANOUT
NOT TO SCALE

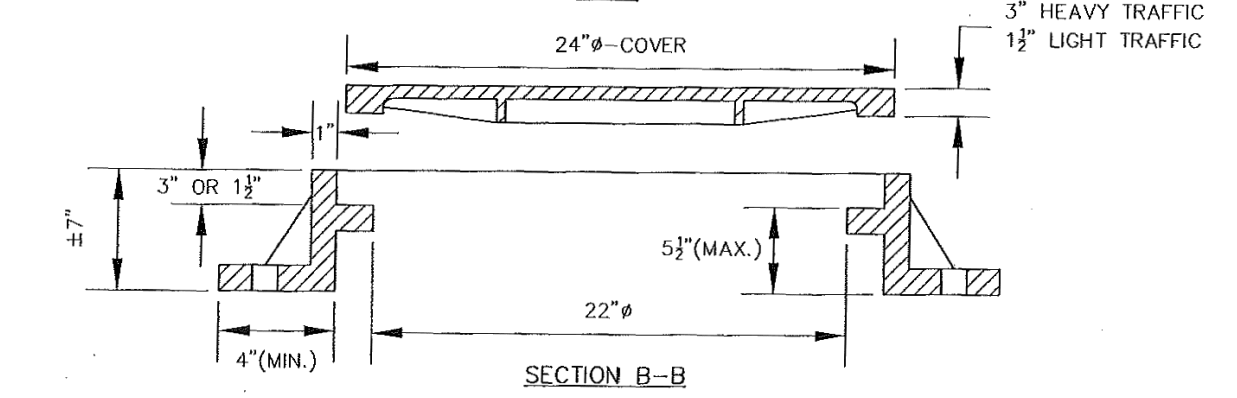
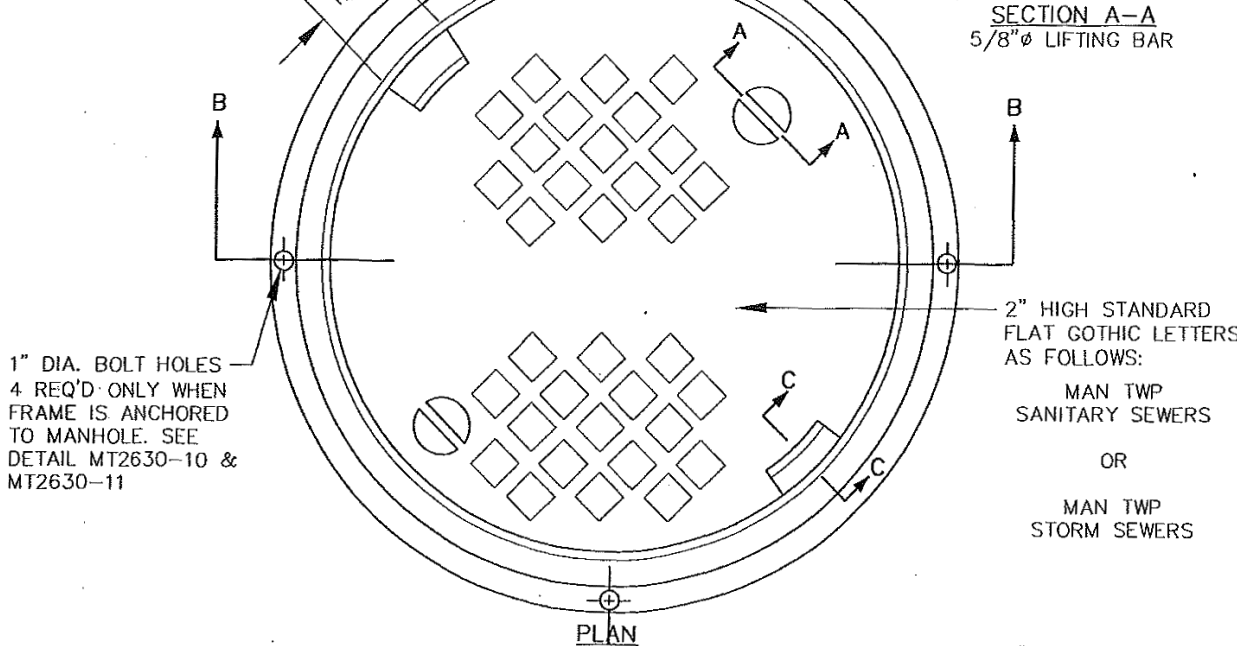
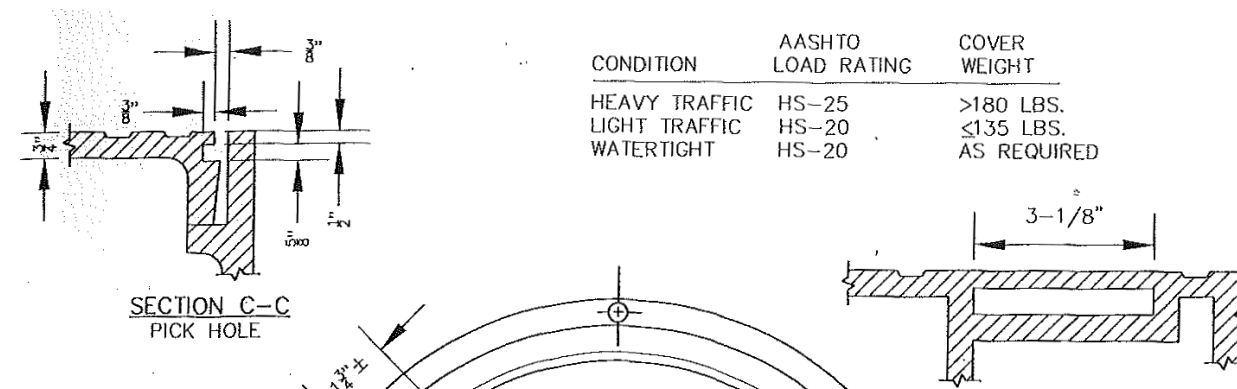


PLAN VIEW

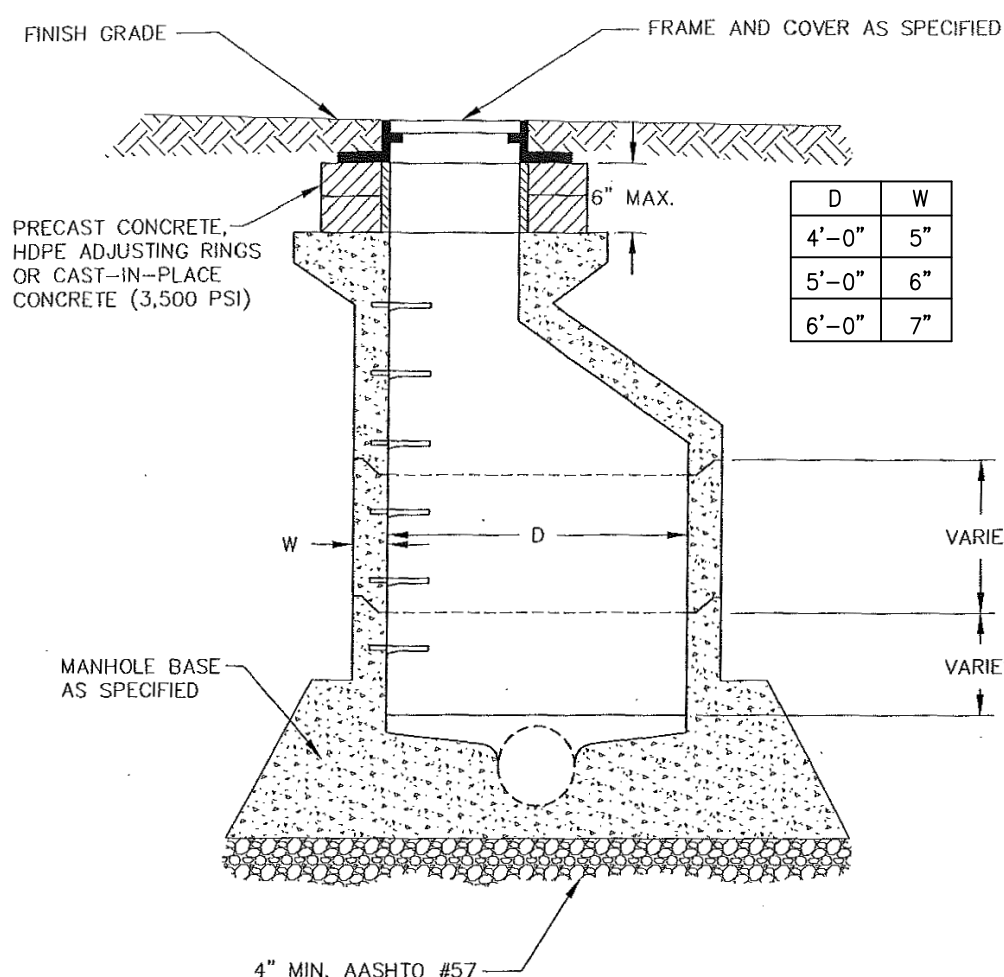


ELEVATION

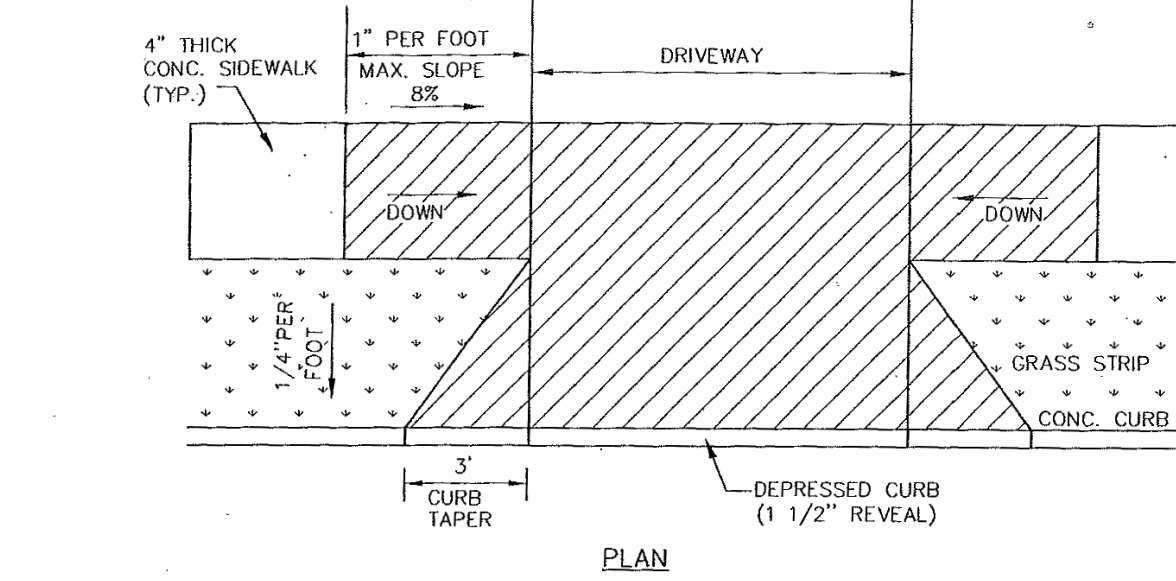
INLET/STORM PIPE INSTALLATION DETAIL
NOT TO SCALE



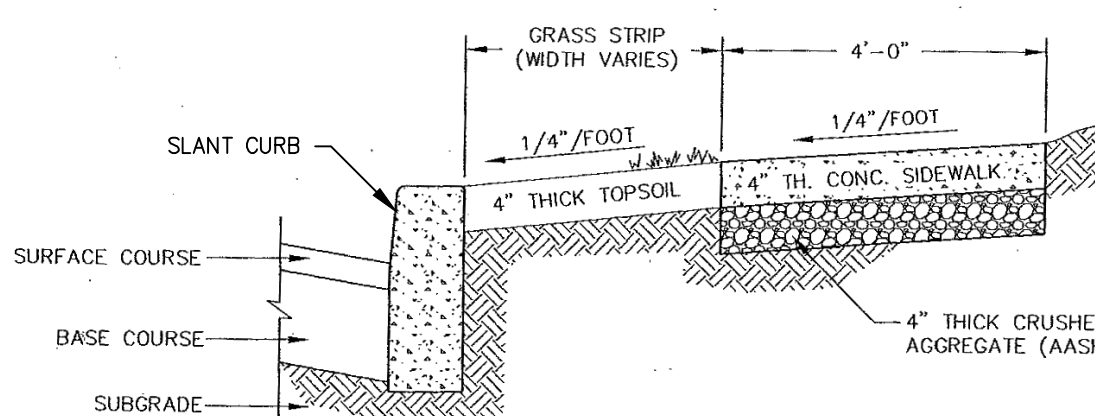
HEAVY TRAFFIC SANITARY SEWER MANHOLE FRAME & COVER
NOT TO SCALE



STANDARD DEEP MANHOLE DETAIL
NOT TO SCALE

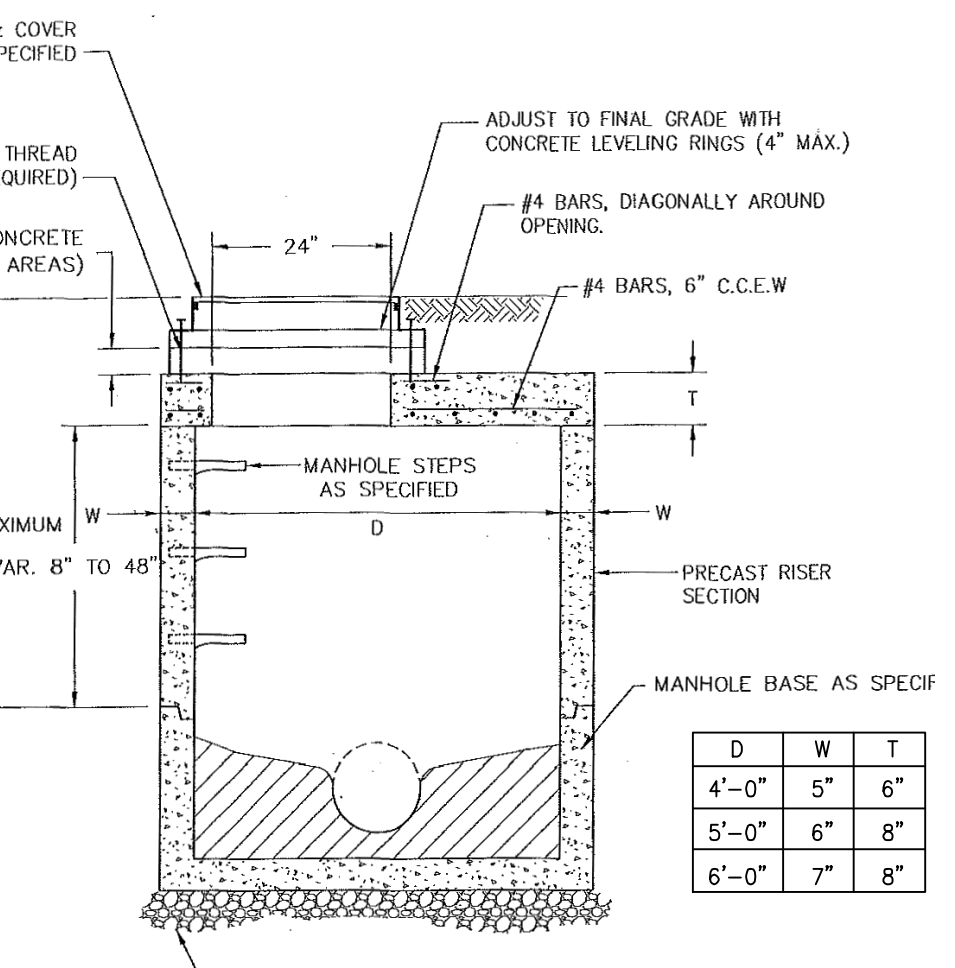


PLAN

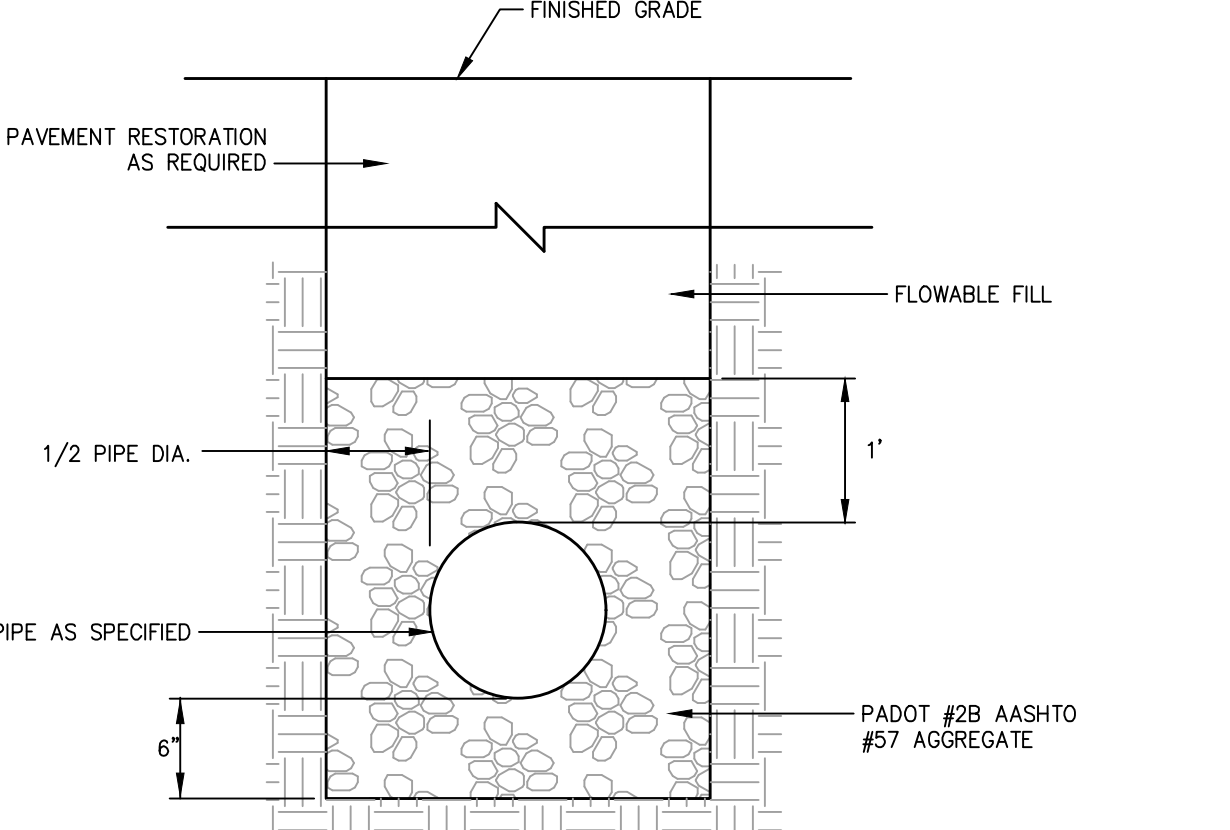


SECTION

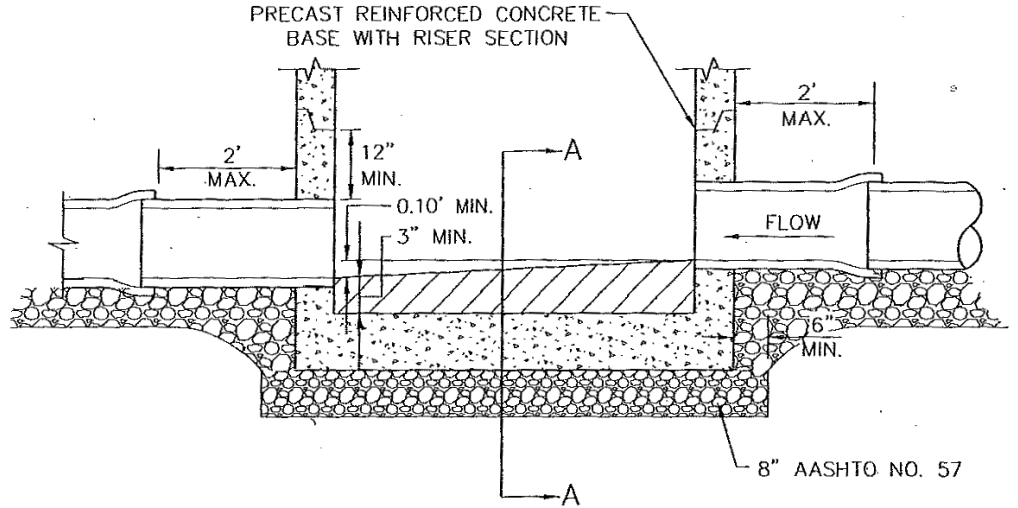
CONCRETE SIDEWALK DETAIL WITH GRASS STRIP
NOT TO SCALE



SHALLOW MANHOLE DETAIL
NOT TO SCALE



UTILITY BEDDING & TRENCH DETAIL WITHIN EAST LOCUST LANE
NOT TO SCALE

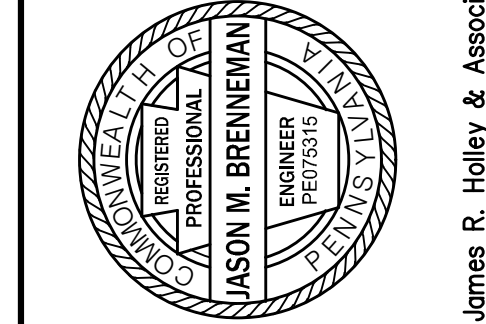


ELEVATION

PRECAST MANHOLE BASE DETAIL
NOT TO SCALE

BEFORE YOU DIG-DRILL-BLAST CONTACT: PA ONECALL SYSTEM 8-1-1 OR 1-800-242-1776
Design Stage Notification Date: 3/22/21
Serial No. 20210813119

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FINAL SUBDIVISION PLAN FOR **EAGLES VIEW PHASE 5** MISCELLANEOUS CONSTRUCTION DETAILS
WOODLAND VIEW ASSOCIATES, LLC
MANCHESTER TOWNSHIP YORK CO., PA

NO.	DATE	DESCRIPTION	BY	JMB
1	5/17/24	REVISED PER STAFF REVIEW		

DATE: 5/01/2024
SCALE: AS NOTED
DRAWN BY: PAF
DESIGNED/CK'D BY: JMB
PROJECT NO. 240201
SHEET NO. 10 OF 10